

Moreland City Council changes shown maroon/light blue with explanatory comments by Karen Bayly and Kate Shearer

MORELAND PLANNING SCHEME

Comparison between exhibited version (31 July 2017) and exhibited version (18 September 2017)
Additions shown in blue
Deletions shown in red

---/2017
C170

SCHEDULE 12 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

Shown on the planning scheme map as **DPO12**.

GRONN PLACE, BRUNSWICK WEST

This Schedule applies to land in PC367386 and Lots 2, 3, 4, 5, 7, 8, 9 and 10 LP33369 on Gronn Place and Kitchener Street, Brunswick West (referred to in this Schedule as 'the site'). Refer to the boundaries shown on the Development Concept Plan included in this Schedule.

1.0

Requirement before a permit is granted

---/2017
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~~A permit may be granted for use or to subdivide land or to construct a building or to construct or carry out works that is not in accordance with the development plan.~~

A permit may be granted before a development plan has been approved for the following:

- ~~The removal or demolition of any building that is carried out in accordance with a Construction Management Plan prepared in accordance with this Schedule;~~
- ~~Earthworks and site preparation works that are carried out in accordance with a Construction Management Strategy and Arboricultural Assessment Report prepared in accordance with this Schedule;~~
- ~~The construction of minor buildings or works that are carried out in accordance with a Construction Management Strategy prepared in accordance with this Schedule;~~
- ~~Consolidation or subdivision of land; and~~
- ~~Removal, variation or creation of easements or restrictions.~~

~~Before granting a permit the Responsible Authority must be satisfied that the permit will not prejudice the future use and integrated and orderly development of the site in accordance with the development plan requirements specified in this Schedule.~~

~~The Responsible Authority may consider an application to use an existing building, subdivide land, construct a building associated with an existing building or construct or carry out works prior to the approval of a Development Plan, provided it does not prejudice the preparation and approval of a Development Plan.~~

2.0

Conditions and requirements for permits

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The following conditions and/or requirements apply to permits:

- ~~Except for a permit granted before a development plan has been approved in accordance with Clause 1.0 of this Schedule, conditions that give effect to the provisions and requirements of the approved development plan.~~
- ~~Any permit for a development must include a condition requiring the preparation of a Sustainable Design Assessment (SDA) to the satisfaction of the Responsible Authority. The SDA must be in accordance with the Environmental Management Plan (EMP) forming part of the approved Development Plan. An SDA must be prepared by a suitably qualified person(s) and must demonstrate how the targets and requirements of the approved EMP will be met for each development within the site. Where, in the opinion of the Responsible Authority, the EMP provides satisfactory detail in relation to a particular development, Council may waive the requirement for an SDA.~~
- ~~_____~~
- Prior to the commencement of any permitted demolition, buildings or works, a detailed Construction Management Strategy as relevant to that demolition or those buildings or works must be prepared to the satisfaction of the Responsible Authority. The plan must include, but not be limited to, the following:

DHHS Response

13/10/2017

DHHS response provided in Comments box and highlighted in Yellow

Comment [KB1]: The header provision states A permit MUST be generally in accordance with the Development Plan. The mechanism for approving things which are not generally in accordance is to amend the Development Plan. The discretion within the header provision is limited to things that can be approved prior to the approval of the Development Plan

Comment [LM(2): Responding to KB1. DHHS wording in accordance with the Ministerial Direction on Form and Content – DHHS is however discussing the appropriate wording with DELWP, so will need to take this on notice until their advice is finalised.

Comment [KB3]: Although not specifically raised in Councils submission, Council would like to advise the Committee that although Moreland does not object to anything in this list, it is detail that is not necessary.

Comment [LM(4): Responding to KB3. DHHS submits that this is the appropriate wording.

Comment [LM(5): Responding to track change. Reject – Refer to DHHS submissions

Comment [KB6]: Although not specifically raised in Councils submission, Council would like to advise the Committee that these matters are relevant to permits granted both before and after the approval of a Development Plan. A CMS for works approved prior to approval of the DP might contain less detail, but these are still matters which will need to be addressed.

Comment [LM(7): Responding to KB6 – the DHHS proposal includes the appropriate wording.

Comment [KS8]: As per Councils submission Section 6, an example of current ESD requirements that provide the level of detail required can be found in the Moreland Planning Scheme at Clause 43.04 schedule 11, Clause 2.0 – Conditions and requirements for permits and Clause 3.0 – Environmentally Sustainable Design.

Comment [LM(9): Responding to KS8. Reject. The DPO schedule does not need to replicate policy included elsewhere in the Planning Scheme.

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- Location of construction vehicle access and worker parking;
- Protection of the amenity, access and safety of adjoining residents; and
- Protection of trees on or adjacent to the site to be retained in accordance with an Arboricultural Assessment Report prepared in accordance with this Schedule.

Comment [KS10]: As per Section 6 of Councils Submission: If the Council is the RA, the reference to a Construction Management Strategy in Clause 1.0 – Requirement before a permit is granted should be further clarified. It is unclear how enforcement of the Construction Management Strategy is intended to occur, and whose responsibility this would be. Council generally no longer requests these reports due to the subsequent enforcement resources required. However, the reference to the protection of the amenity, access and safety of adjoining residents; and protection of trees on or adjacent to the site to be retained in accordance with an Arboricultural Assessment Report prepared should be retained in the schedule.

Comment [LM(11): Responding to KS10 At the very least, a CMS will achieve is the preparation of a plan and strategy setting out how the renewal will manage the construction process to protect the amenity of neighbours, the protection of trees, health and safety etc. This is good practice and reference to the provision of a Construction Management Plan is contained elsewhere in the Planning Scheme, but is included in this Schedule to achieve consistency of approach across all of the sites within the PHRP.

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3.0

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Requirements for development plan

~~A development plan must include the following requirements.~~

~~A Development Plan, which may consist of plans and/or other documents, must be prepared to the satisfaction of the Responsible Authority (Moreland City Council), in consultation with Moreland City Council.~~

~~The Responsible Authority may authorise the display of a Development Plan, or an amendment to a Development Plan, once satisfied appropriate content has been provided pursuant to the provisions of this Schedule.~~

Any Development Plan must be generally in accordance with the Development Concept Plan at Section 5.0 and must show or include the following:

General

~~The development plan must be prepared to the satisfaction of the Responsible Authority in consultation with Moreland City Council.~~

The development plan must ~~seek to~~ achieve the following objectives:

- ~~• To maximise the social, economic and environmental ‘return’ of public land assets and ensure the economic viability of the project.~~
- To deliver a sustainable and high quality development that contributes to the longevity of housing stock and reduces the cost of living.
- To create safe buildings and spaces throughout the site.
- To respond to the features of the site, such as context, aspect, topography and significant vegetation.
- To achieve a comfortable and enjoyable public realm.
- To ensure new buildings and works allow good sunlight access to communal outdoor spaces.
- To ensure that overshadowing from new buildings or works does not result in significant loss of sunlight and diminish the enjoyment of communal outdoor spaces.
- To protect, the level of sunlight to communal outdoor spaces during the times of the year when the intensity of use is at its highest.
- To integrate with the surrounding area by responding to existing ~~or preferred~~ neighbourhood character.
- To integrate with the surrounding area by enhancing the public realm and existing networks and delivering ‘good neighbour’ outcomes.
- To balance issues of equity in the successful delivery of social and private housing that is ‘tenure blind’.
- To provide retail, commercial or community uses to meet an identified local need or stimulate local activity and participation.
- To prioritise pedestrian and bicycle access within the site.
- To establish legible access and address points for the site, buildings and spaces, including defining private, communal and public spaces.
- To foster social connections between residents and the wider community.
- To provide high levels of residential amenity and liveability.
- To provide landscaping and communal open space that is resilient and enhances the sense of place, sustainability and liveability of the site and local area.
- To deliver buildings and spaces that are accessible and practical for people of all abilities and adaptable to respond to the future needs of residents.
- To deliver a diversity of housing through provision of a mix of one, two and three bedroom dwellings.

Comment [KS12]:
A requirement for informal consultation of any Development Plan prepared for the site or for any amendments to an approved Development Plan must be included in the DPO schedule. This is to ensure meaningful community consultation on the development framework proposed. An example of this requirement that has been successfully incorporated into a DPO can be found in the Moreland Planning Scheme at Clause 43.04 schedule 11, Clause 4.0 – Development Plan Consultation. ... [1]

Comment [LM(13)]: Responding to KS12. Reject, refer to DHHS submission and evidence (ie the Minister will put appropriate consultation procedures ... [2]

Comment [LM(14)]: Responding to track change. Part Accept – DHHS propose a similar requirement under the Built Form Section. This is the appropriate plac ... [3]

Comment [KS15]: As per section 6 of Council submission, It is Council’s submission that the schedule should be amended to make Council the Respo ... [4]

Comment [LM(16)]: Responding to KS15. Reject. Refer to DHHS submission on RA

Comment [KB17]: As per Section 6 of Councils Submission: The objective under section 3.0 of the DPO that reads, ‘To maximize the social, ... [5]

Comment [LM(18)]: Responding to KB17. Part Accept – deletion of ‘and ensure the economic viability of the project’ is accepted.

Comment [KB19]: A fundamental feature of comfort and attractiveness of open space is its ability to offer sunlight at the times of the year when the intens ... [6]

Comment [LM(20)]: Responding to KB19. Reject. Public realm is covered in other objectives as are principles of amenity and livability. Shadow impacts are ... [7]

Comment [LM(21)]: Responding to track change. Reject. Development should respond to existing or preferred / future likely character of an area.

Comment [LM(22)]: Responding to track change. Reject. Unnecessary elaboration.

Comment [KS23]: As per item 6 of Councils submission, include a requirement that the Development Plan include d ... [8]

Comment [LM(24)]: Responding to KS23. Reject. Refer to submissions. The distribution of public housing will be a policy matter for DHHS.

Comment [KS25]: As per Councils submission section 5, an objective should be added that encourages a mixture of one, two and three bedroom housing to ef ... [9]

Comment [LM(26)]: Responding to KS25. Part Accept but using the words put forward in the DHHS version to ensure consistent application across the PHRP

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- To deliver housing that is visitable and adaptable to meet the needs of different sectors of the community.
- To ensure development complies with the Moreland Planning Scheme Clause 22.08 Environmentally Sustainable Development.
- To retain large specimen trees.

Land Use

The Development Plan should make provision for small scale retail, commercial or community uses and/or and communal open space to meet the needs of the local community provided these uses achieve the following criteria:

- Located at ground floor level;
- Fronting Albion Street, Peacock Street or the publicly accessible open space circulation corridor; and
- Adequately manage potential amenity impacts on nearby residential properties.
- They are Compatible with the residential character and amenity and serve the needs of the local community;
- Do not have a negative impact on residential amenity; and or
- Would not be more appropriately located within a Neighbourhood Centre or Activity Centre.

Built Form

Details of urban design principles, including information on general streetscape treatments, architectural styles, interface treatments, building heights and setbacks, general materials and finishes, and building frontages. The urban design principles must detail how the development will achieve or deliver the following outcomes for the site, generally in accordance with the Concept Plan at Section 5.0:

The Development Plan should show or make provision for:

- A building must not be constructed that exceeds the building heights specified on the Development Concept Plan at Section 5.0.
- Highest built form as specified on the Development Concept Plan at Section 5.0 in the centre of the site, towards the Tullamarine Freeway and where amenity impacts are minimised, with a transition down to lower built forms at residential interfaces.
- New development should be appropriately articulated and modulated within the height and setback controls and provide visual interest through articulation, glazing and variation in materials and textures.

Comment [KS27]: As per Section 6 of Councils submission, an objective relating to accessibility, and provision of an Accessibility Report as a required 'document, plan and report' should be added into the DPO schedule, as the Better Apartment Design Standards will require 50% of the apartments to be accessible. An Accessibility Report will allow for proper consideration of whether this has been achieved.

Comment [KS28]: As per councils submission section 6, A specific objective should be included in the DPO schedule to retain large specimen trees as they are of high significance.

Comment [LM(29): Responding to KS27 & 28. Reject these additions – DHHS will set our own adaptability standards responding to need, noting that pro ... [10]

Comment [KS30]: As per section 6 of Councils submission, the land use objectives at section 2.3 of the Registration of Capability should be incorporate ... [11]

Comment [LM(31): Responding to KS30. Reject. This is not relevant to a planning control.

Comment [LM(32): Responding to track change. Reject, not appropriate in land use.

Comment [KS33]: As per Councils submission, Commercial uses on the Peacock Street boundary are not supported as the street is totally residential an ... [12]

Comment [LM(34): Responding to KS33. Reject. This would limit the opportunity to locate community facilities if provided along Peacock Street, v ... [13]

Comment [LM(35): Responding to track changes. Reject. The wording as proposed in the DHHS amended ve ... [14]

Comment [LM(36): Responding to track change. Reject. The interpretation of this proposition is too broad.

Comment [KS37]: As per section 6 of Councils submission, the Development Concept Plan should be revised to incorporate more detailed moveme ... [15]

Comment [LM(38): Responding to KS37. Part Accept comment by clearly defining pedestrian and vehicular linkages in Development Concept Plan, how ... [16]

Comment [KB39]: Locating higher built form towards the Tullamarine Freeway is not appropriate given the boundaries of the DPO and the sen ... [17]

Comment [LM(40): Responding to KB39. Reject. DHHS considers that there is sufficient guidance in the DPO schedule and the planning scheme to ensure ... [18]

Comment [LM(41): Responding to track changes. Reject, DHHS considered the wording proposed in the DHHS submission is appropriate.

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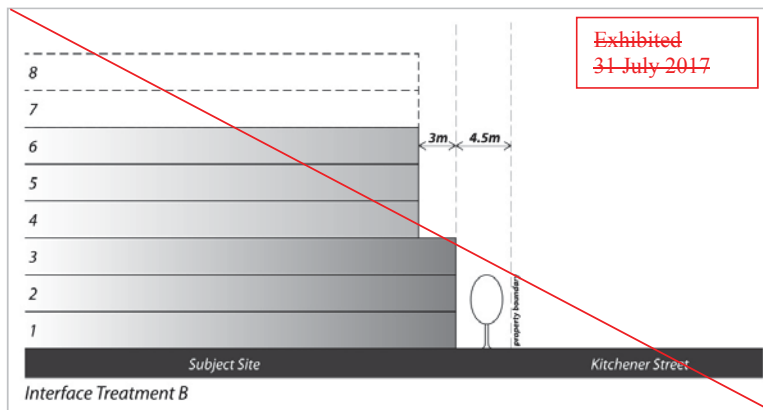
- Buildings that do not exceed the building heights and that do not encroach within the following interface treatments provided in the table below on the Development Concept Plan at Section 5.0.

Area (refer to Development Concept Plan)	Building Height	Interface Treatment
1	3 storeys	Interface Treatment B Treatments C and D
2	6 storeys	Interface Treatments C and D A and C
3	8 storeys	Interface Treatments A, C and D A, B and C
4	6 storeys	Interface Treatments C and D A and C
5	6 storeys	Interface Treatments A and D A and E

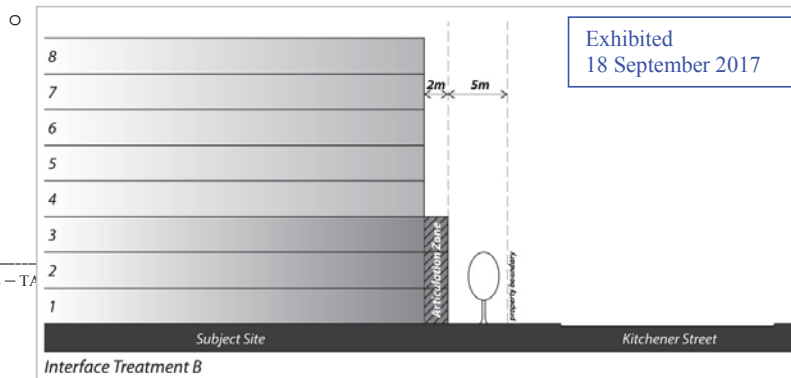
- Buildings that do not encroach within the following building setbacks:

Interface Treatment A (Direct Residential Interfaces) – 3m boundary setback
Boundary setbacks as shown on the Development Concept Plan at Section 5.0, including a minimum setback of 11 metres to any 5 storey building, 14 metres to any 6 storey building and a minimum of 20 metres to any 8 storey building and increased as required to protect existing trees to be retained or accommodate replacement canopy trees and to comply with Clause 32.04-9.

- Interface Treatment B (Kitchener Street) – 4.5m street setback up to 3 storeys and an additional 3m setback above 3 storeys (as shown in the diagram below);**



- Interface Treatment B (Kitchener Street – northern portion) – 5m street setback with articulation zone corridor plus a 2m articulation zone up to 3 storeys and an additional 2m setback above 3 storeys (as shown in the diagram below);**



Comment [KS42]: As per councils submission section 6, Further information is required in the DPO schedule to ensure detail in relation to building facades, interfaces and treatments. Ground level interfaces are not shown on the *Design Framework* and have not been addressed in the DPO Schedule. Similarly, entrances to the site and podium treatments have not been indicated in the Development Concept Plan in the schedule. Further detail of the interfaces around buildings is needed in the schedule, not merely diagrams showing suggested heights.

Comment [KB43]: Without prejudice. Council submits that the maximum building height should not exceed four storeys. Council advises the Advisory Committee that if 6 or 8 storeys are contemplated for the site that Councils considers these to be appropriate minimum setbacks.

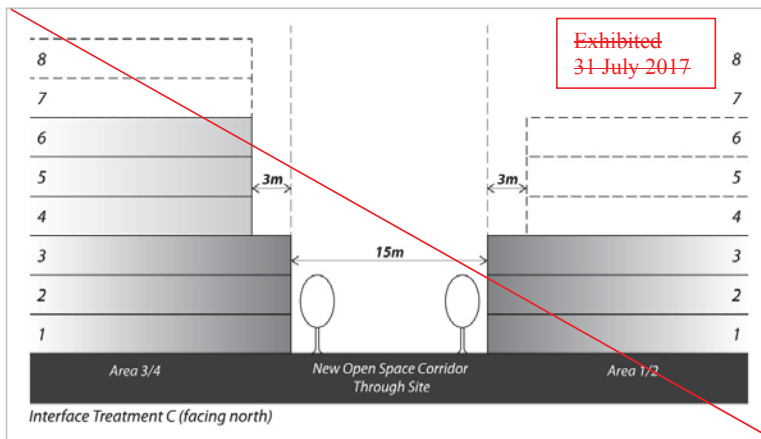
Comment [KS44]: These setbacks are from B17 of Clause 55.04 calculated at 3m per storey (Clause 58 specifies a 2.7m min floor to ceiling height) plus 4m for ground floor as required by this DPO

Comment [KB45]: INSERT CROSS SECTION DIAGRAMS TO SHOW SETBACKS FROM RESIDENTIAL INTERFACES

Comment [KB46]: Edit this diagram DHHS Urban Design evidence paragraph 64 reduce height of the precinct at the northern end of Kitchener Street to 6 storeys

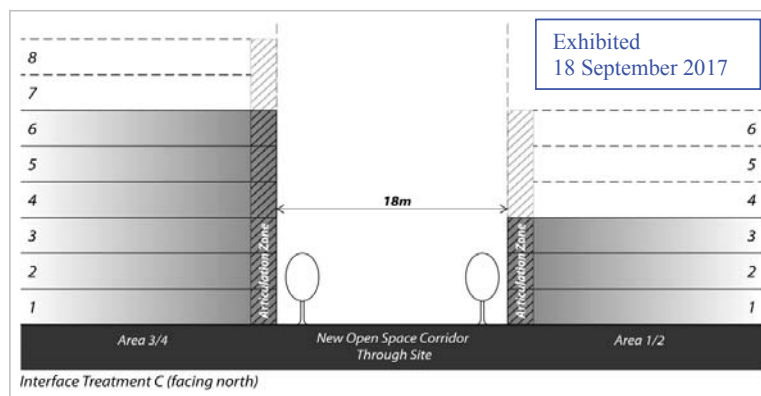
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~~Interface Treatment C (New Open Space Circulation Corridor Through Site) – 3m setback for portions of buildings above 3 storeys 18m wide corridor plus a 2m articulation zone (as shown in the diagram below); and~~



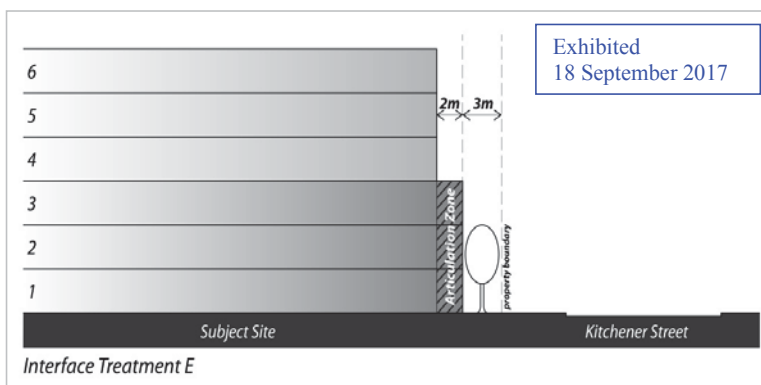
Comment [KB47]: This will not be open space. It will be driveways, footpath and cycle path. On the Walker Street Concept Plan the equivalent is labelled 'Internal connections' Refer to Sections in Design Framework DHHS Urban Design evidence paragraph 37 describes this space as an internal street incorporating footpaths, kerbside parking and street trees to 'read' as 'normal' streets contributing top the integration of the estate with its surrounds

Comment [LM(48): Responding to KB47. Reject. The open space corridor will contain road for part. It will also include cycle and pedestrian paths, which are a feature of open space areas, and will also include tree planting, grass areas, a community garden and other communal uses as appropriate.



~~Interface Treatment D (Albion and Peacock Streets frontage) – in accordance with Clause 55.03 – 1.6m street setback; and~~

~~Interface Treatment E (Kitchener Street – southern portion) – 3m street setback plus a 2m with articulation zone up to 3 storeys and an additional 2m~~



Comment [KB49]: Edit diagram DHHS Urban Design evidence paragraph 64 reduce height to western side of internal connection to 6 storeys and paragraph 66 reduce height to eastern side of internal connection to 5 storeys

DHHS Urban Design evidence para 75 recommends reinforcing upper level setbacks facing internal streets. Edit diagram so create a setback to upper levels clear of balconies. Articulation should occur behind a clear setback line, otherwise there is no clear upper level setback.

Delete area numbers

Comment [KB50]: Amend diagram to relabel 'open space corridor' to 'Circulation corridor'

Comment [KB51]: Don't overcomplicate it – just specify the number. The adjoining buildings are setback 5 and 7 metres. The average is 6.

Comment [LM(52): Responding to KS42 &44 and KB43, 45-47, KB49-51. DHHS proposes the concept plan map and additional cross-sections issued on 9 October 2017 and relies on our evidence and submissions.

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setback above 3 storeys (as shown in the diagram below).

- Building envelopes that are adapted to:
 - Minimise the adverse amenity impacts on existing sensitive uses in proximity of the site.
 - Protect existing trees to be retained; and
 - Provide reasonable levels of sunlight to open space areas on 21 June. Do not impact on the amenity of communal outdoor spaces by overshadowing any more than 1/3 of the space at any time between 10.30am and 2.30pm on 21 June (Winter Solstice).
 - Comply with the Standards of the Moreland Apartment Design Code to ensure adequate building separation.
- Active frontages to Albion, Peacock and Kitchener Streets, internal connections and open space areas, through the following:
 - Avoiding large expanses of blank wall, large service areas, garbage storage areas, car parking and co-located or continuous garage doors along ground floor frontages; and
 - Provision of individual entry doors to ground floor dwellings that have frontages to a road or internal connection.
- Where non-residential uses are proposed, provision of the following:
 - Development should have a ground floor ceiling height that allows for a range of appropriate uses in locations where non-residential uses are contemplated. A minimum floor to ceiling height of the ground level should be a minimum of 3.6 metres, 4m floor to floor height.
 - An entrance and/or clear glazed window at the street frontages of each individual non-residential use; and
 - Weather protection at the street frontages of the non-residential uses.
- ~~Visual bulk of buildings reduced through the placement of balconies and use of discontinuous forms, articulated facades and varied materials. Buildings and works such as architectural features, sunshades, screens and artworks may be constructed within setback areas, provided they demonstrate a positive contribution to the overall façade composition.~~
- Visual bulk of buildings reduced through the placement of balconies and use of discontinuous forms, articulated facades and varied materials.
- Articulation zones are to be used for the placement of balconies, open space, architectural features, sunshades and artworks to demonstrate a positive contribution to the overall façade composition.
- The location of car parking spaces within basement levels or suitably concealed within buildings or behind features such as active podium frontages.
- Cohesive architectural design throughout the site, with the use of high quality, durable and low maintenance materials.
- Appropriate mitigation measures to minimise the adverse impacts on existing sensitive uses in proximity of the site.
- Appropriate noise attenuation measures to minimise noise impacts on proposed dwellings from the Tullamarine Freeway, Albion Street and any non-residential uses on the site.

Landscape and Open Space

The Development Plan should show ~~or make provision for:~~

- ~~A new publicly accessible open space corridor through the site between Albion and Peacock Streets generally located as shown on the Development Concept Plan. The corridor is to be a minimum 15m 18m wide and may contain vehicle access to the site from each street.~~

Comment [LM(53): Responding to track change. Reject, protection of amenity is already included in the objectives.

Comment [KB54]: This is the standard used elsewhere in the Moreland Planning Scheme eg Coburg Activity Centre.

Could express as no overshadowing between 11.00 am and 2.00 pm on 22 September, which is the standard used in the Melbourne Planning Scheme.

The time of year used as the point of reference is not the critical factor. The important point is the extent of overshadowing permitted.

Comment [LM(55): Responding to KB54. Reject. We rely on submission s and evidence in relation to the appropriate standard to apply.

Comment [KS56]: As per Councils submission Section 6, the standards of the Moreland Apartment Design Code should be referred to in the DPO schedule to ensure adequate building separation is delivered.

Comment [LM(57): Responding to KB56. Reject. It development will respond to Apartment Guidelines for Victoria, Clause 55.07 and Clause 58, noting that the Moreland Apartment Design Code is not formally part of the Planning Scheme.

Comment [KS58]: References to 'active frontages' requires clarification. Council does not support commercial uses on the Peacock st Frontage.

Comment [LM(59): Responding to KS58. mReject. 'Active frontage' does not imply a use, noting that the remainder of the policy elaborates on what is meant by active frontages.

Comment [LM(60): Responding to track change. Part Accept. DHHS is content with the wording in the DHHS version, but will cede to the 3.6m minimum building height.

Comment [LM(61): Responding to track change. Accept.

Comment [LM(62): Responding to track change. Reject. DHHS does not see any benefit in the amendment suggested. The original DHHS clause achieves the desired outcome.

Comment [LM(63): Responding to track change. Reject deletion.

Comment [LM(64): Responding to track change. Reject deletion. Refer to submission and evidence

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- A new centrally located communal open space of at least 1,000sqm, with a minimum dimension of 25 metres, area accessible to all residents, generally located as shown on the Development Concept Plan. This area may form part of the communal open space required under by Clause 55.07-2 or Clause 58.03-2.
- Reasonable levels of sunlight will be provided to all areas of the public realm on 22 September.
- Design communal spaces that are of high quality, accessible, well-used, comfortable and welcoming by implementing healthy design principals.
- Retention of trees assessed in an Arboricultural Assessment Report prepared in accordance with this Schedule as having moderate or high retention value, unless it is demonstrated that their retention significantly affects the feasibility of development of the relevant precinct.
- Replacement of trees assessed in the required Arboricultural Assessment Report as having moderate or high retention value with trees that provide equivalent amenity value to residents and the public realm.
- Landscaped buffers and setbacks at residential interfaces, consisting of existing trees to be retained and/or replacement canopy trees.
- Additional street trees along the frontages of Albion, Peacock and Kitchener Streets, subject to agreement from Moreland City Council.
- New canopy trees along the new open space corridor and internal connections and within new open space areas.
- Incorporate public art into communal spaces to provide an identity and a sense of place for the community.
- Guidance as to design, construction and future maintenance of the Communal Gardens.

Circulation

The development plan should show or make provision for:

- A new open space circulation corridor through the site between Albion and Peacock Streets generally located as shown on the Development Concept Plan. The corridor is to be a minimum 18m wide and may contain vehicle access to the site from Albion and Peacock streets.
- A legible vehicle circulation system within the site.
- Accessible car parking for residents, workers (if applicable) and visitors. Some or all of the existing car parking within Kitchener Street may be used for visitor parking subject to agreement from Moreland City Council.
- Accessible bicycle parking for residents and visitors, and bicycle servicing facilities.
- A pedestrian and cycle path along the new open space circulation corridor between Albion and Peacock Streets.

Bicycle Parking and Electric Vehicle Charging Provision

- The Development Plan should show or make provision for an increase in the standard provision of bicycle parking as follows:
 - 1 secure accessible bicycle space per dwelling.
 - 1 visitor space per 4 dwellings.
 - 1 additional space for a lot of 3 dwelling apartments/townhouses.
 - 1 space per 300m² for commercial uses.
- The Development Plan should show or make provision for an electric vehicle charging space.

Required documents, plans and reports

Comment [KB65]: As per section 6 of Councils submission, The Development Concept Plan contradicts the *Design Framework* in relation to the location of open space. The redevelopment of this site aims to create a new community, and as such, adequate and true open space should be planned appropriately. Consolidation of the two playgrounds to provide one larger playground should also be considered.

Healthyplaces.org.au
Useability is ensured by open space that:

- is of a sufficient size and shape to cater for its intended purpose, in most states minimum standards apply for the provision of open space
- is adaptable, catering for multiple users and types of activities

Comment [LM(66)]: Responding to KB65 and track changes. Reject – appropriate sunlight is prescribed elsewhere in the Planning Scheme, and defined ... [19]

Comment [LM(67)]: Responding to track change. Part Accept. Refer to DHHS version deleting this requirement

Comment [KS68]: As per section 6 of Councils submission: ... [20]

Comment [LM(69)]: Responding to KS68. There is sufficient protection afforded to trees of medium and hi ... [21]

Comment [LM(70)]: Responding to track change. Reject, does not add any clarification.

Comment [LM(71)]: Responding to track change. Reject. DHHS does not see any justification for this requirement ... [22]

Comment [LM(72)]: Responding to track change. Reject. This is far too detailed at the DP stage and DHHS will be ... [23]

Comment [KS73]: •There are no vehicle crossings shown on the Development Concept Plan, and ... [24]

Comment [KS74]: Revise wording to reflect the use of this corridor as a circulation space, not open space

Comment [LM(75)]: Responding to KS73 & 74 Reject – the clear purpose is defined as an open space corridor ... [25]

Comment [KS76]: As per section 6 of Councils submission, Vehicle access to the site must have regard to the types of ... [26]

Comment [KS77]: As per Councils submission, The DPO should be expressed to prefer an outcome that includes ... [27]

Comment [LM(78)]: Responding to KS77. Reject. Refer to submissions on basement parking.

Comment [LM(79)]: Responding to track changes. Reject amendments ... [28]

Comment [KS80]: As per Section 5 of Councils submission, A requirement should be included that requires an increase ... [29]

Comment [LM(81)]: Responding to KS80. Reject. This is overly presc ... [30]

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The following documents, plans and reports must form part of any Development Plan ~~(as applicable if the development plan is approved in stages)~~:

1. A **Site Context Analysis** prepared in accordance with Clause 55.01 or Clause 58.01 of the Planning Scheme that includes, but is not limited to, the following:
 - The urban context and existing conditions showing topography, the surrounding and on site land uses, buildings, noise sources, access points, adjoining roads, cycle and pedestrian network and public transport;
 - Views to be protected and enhanced, including views of and from the site; and
 - Key land use and development opportunities and constraints.

2. **Preliminary Architectural Plans** that show the distribution and design of built form on the site in accordance with the Development Concept Plan included in this Schedule, including, but not limited to, the following:
 - A design response to the Site Context Analysis in accordance with Clause 55.01 or Clause 58.01 of the Moreland Planning Scheme;
 - Demolition works;
 - Building envelopes including maximum building heights, building setbacks, and building depths;
 - Consideration the the impact on the amenity of existing dwellings through demonstrating compliance with the objectives and standards of Clause 55.04.
 - The relationship between proposed buildings and works and surrounding land uses and development, including the proposed built form edge and interface treatments to adjoining streets and adjoining residential properties;
 - Conceptual elevations and cross-sections, indicating level changes across the site;
 - Shadow diagrams;
 - Images which show how the proposed built form will be viewed from the surrounding area, particularly the Albion Street corridor, Dunstan Reserve and adjoining residential properties;
 - An indicative mix of dwelling types and sizes;
 - The mix of land uses, including non-residential uses such as retail, commercial and community facilities;
 - Vehicle access, circulation and parking locations;
 - Waste collection zones to each building and primary points of access of waste vehicles;
 - Pedestrian and bicycle access and circulation. The building footprints and internal connections shown on the Development Concept Plan are indicative only and further connections within the site and through the building envelopes should also be provided to ensure a highly permeable urban structure; and
 - Open space area/s.

3. An **Integrated Transport and Traffic Management Plan** that addresses, but is not limited to, the following:
 - The range and scale of uses that will be anticipated on the site;
 - The estimated population of residents, visitors and workers (if applicable);
 - Estimated vehicle trip generation levels resulting from use and development within the site;
 - Vehicle ingress and egress points and estimated levels of usage;
 - The likely impacts of the proposed development on the arterial and local roads and any mitigating works required such as off-site traffic management treatments;
 - An indicative layout of internal roads that:

Comment [KB82]: These things should be done upfront and not come as an afterthought

Comment [LM(83): Responding to KB82 Reject. It is common practice to provide flexibility for development to proceed in stages.

Comment [LM(84): Responding to track change. Reject to the addition of a Clause that cross-references other Clauses of the Planning Scheme.

Comment [LM(85): Responding to track change. Reject. Adequately covered in the preceding bullet point, as well as in 'Circulation' on the previous page, and in the Integrated Transport and Traffic Management Plan specifications.

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- Complements the form and structure of the surrounding network;
 - Recognises the primacy of pedestrian and bicycle access within the site;
 - Provides a high level of amenity and connectivity, whilst managing the movement of vehicles travelling through the site;
 - Are of sufficient width to accommodate footpaths and street trees;
 - The location of on-site car parking for residents, visitors and workers (if applicable). The location of car parking spaces should be situated at basement level or suitably concealed within buildings;
 - Provision for loading and unloading of vehicles and means of access to them, including waste, delivery and furniture removalist vehicles; and
 - Provision of a safe and accessible pedestrian and bicycle network within the site and connecting to the external network.
 - Green Travel Plan initiatives that can be adopted to reduce private car usage by residents, visitors and workers (if applicable), including a new resident awareness and education program and opportunities for the provision of a car share program;
 - Provision for secure bicycle storage for residents and workers (if applicable), end of bicycle trip facilities for workers (if applicable) and short term bicycle parking for visitors;
 - The views of VicRoads and Moreland City Council.
4. An **Arboricultural Assessment Report** that addresses, but is not limited to, the following:
- Assessment of trees on or adjacent to the site, including retention value;
 - Recommendations for the protection of trees to be retained to ensure long-term health, including designation of tree protection zones and structural root zones; and
 - Recommendations for trees to replace any trees of moderate or high retention value required to be removed where replacement trees provide equivalent amenity value to residents and the public realm.
5. A **Landscape and Open Space Plan** that addresses, but is not limited to, the following:
- Existing vegetation to be retained as assessed in an Arboricultural Assessment Report prepared in accordance with this Schedule;
 - New canopy trees and landscaping within the public realm and communal areas / open space areas;
 - Landscaping areas within private open spaces;
 - Street trees along Albion, Peacock and Kitchener Streets and internal connections;
 - A planting theme that complements existing trees to be retained on the site and the surrounding neighbourhood character;
 - Delineation of communal and private open spaces and the treatment of these interfaces;
 - Hard and soft landscaping treatments of the public realm and communal open spaces;
 - Interface treatments between adjoining streets and residential properties, including boundary fences;
 - Integration of sustainability and water sensitive urban design measures;
 - Opportunities for communal gardens; and
 - Maintenance responsibilities.

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~~6. An Ecologically Sustainable Development Plan that demonstrates how development on the site will achieve best practice standards and incorporate innovative initiatives on a precinct wide scale. The Plan is to address the areas of energy efficiency, water resources, indoor environment quality, stormwater management, transport, waste management, innovation and urban ecology;~~

~~o 6.~~

6. A comprehensive Environmental Management Plan prepared by a suitably qualified person(s) demonstrating best practice in environmentally sustainable design and addressing the following:

o Building energy management (conservation and generation);

o Water sensitive urban design/integrated water management;

o Construction materials selection;

o Indoor environment quality;

o Waste management and reduction;

o Public realm design for access and mobility;

o Transport;

o Demolition and construction phase; and

o Innovation.

o The Environmental Management Plan must:

▪ Identify strategic or other documented sustainability targets or performance standards for the site;

▪ Document the means by which the appropriate targets or performance standards may be met;

▪ Identify responsibilities and a schedule for implementation, and ongoing management, maintenance and monitoring where relevant; and

— Demonstrate that the design element, technologies and operational practices included in the Environmental Management Plan can be maintained over time.

7. A Services and Infrastructure Plan that addresses, but is not limited to, the following:

▪ An assessment of the existing engineering infrastructure servicing the site and its capacity to service the proposed development;

▪ A description of the proposed provision of all appropriate utility services to development parcels; and

▪ A stormwater drainage master plan, including the location of any on-site drainage retention facilities.

8. An Environmental Site Assessment that addresses, but is not limited to, the following:

▪ A soil sampling and analysis program;

▪ The extent of any filling that has occurred on the site, including area, depth and fill material;

▪ The depth, quality and flow direction of groundwater at the site;

▪ The contamination status of soil on the site; and

▪ An assessment of risks for the proposed redevelopment of the site and recommendation for any required remediation.

Comment [KS86]: •The requirement for an ecologically sustainable development plan proposed in the schedule to the DPO is supported, however further detail to enable rigorous scrutiny of ESD measures is required. For a development of this size and considering the future tenants and their socio economic status, environmentally sustainable design is essential in delivering an energy efficient built form product. As identified in the summary of this submission, Council submits that all dwellings at Gronn Place must have at least a 7.5 star energy rating. Additional important features that should be addressed in an ESD report include natural ventilation, levels of daylight and building separation at a minimum.

Comment [LM(87): Responding to KS86. Reject. The ESD is a consistent requirement across each of the DPO' schedules in the PHRP and an appropriate tool to inform the Development Plan. The EMP is a Planning Scheme requirement and will accompany any application for planning permission.

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9. Where the development will be undertaken in stages, a **Staging Plan** that addresses, but is not limited to, the following:
- The delivery of infrastructure and shared facilities within each stage to ensure the orderly development of the site; and
 - Site management, such as resident amenity, vehicle access and parking, pedestrian access and protection of existing buildings, infrastructure and vegetation.
10. -An **Accessibility Report** to assist in consideration of whether accessibility objectives have been achieved.
- ~~10.11.~~ -An **Acoustic Report** to allow assessment of whether appropriate noise attenuation has been undertaken to address the proximity of the development to the Tullamarine Freeway and Albion St. ~~xxxxx~~

4.0 Decision Guidelines for Development Plan

In considering a Development Plan or any subsequent amendments to the Development Plan, the Responsible Authority must take the following matters into consideration:

- The views of the owners and occupiers of lots adjoining the land and any other person who, in the opinion of the responsible authority, may be affected by the Development Plan.
- Whether the application is consistent with the approved Development Plan
- The Site Context Analysis
- The Preliminary Architectural Plans
- The Integrated Transport and Traffic Management Plan
- The Arboricultural Assessment Report
- The Landscape and Open Space Plan
- The Ecologically Sustainable Development Plan
- The Services and Infrastructure Plan
- The Environmental Site Assessment
- The Staging Plan
- Accessibility Report
- Acoustic Report
- Any relevant Council policy

Comment [KS88]: •An additional requirement should be included under the 'required documents, plans and reports' section of the Schedule to require an Acoustic Report to ensure appropriate noise attenuation for development in proximity to the Tullamarine Freeway/Citylink.

Comment [LM(89): Responding to KS88. Part Accept a requirement for an acoustic report, but prefer the DHHS clause in order to achieve consistency across the PHRP DPO schedules – refer to DHHS DPO schedule version.

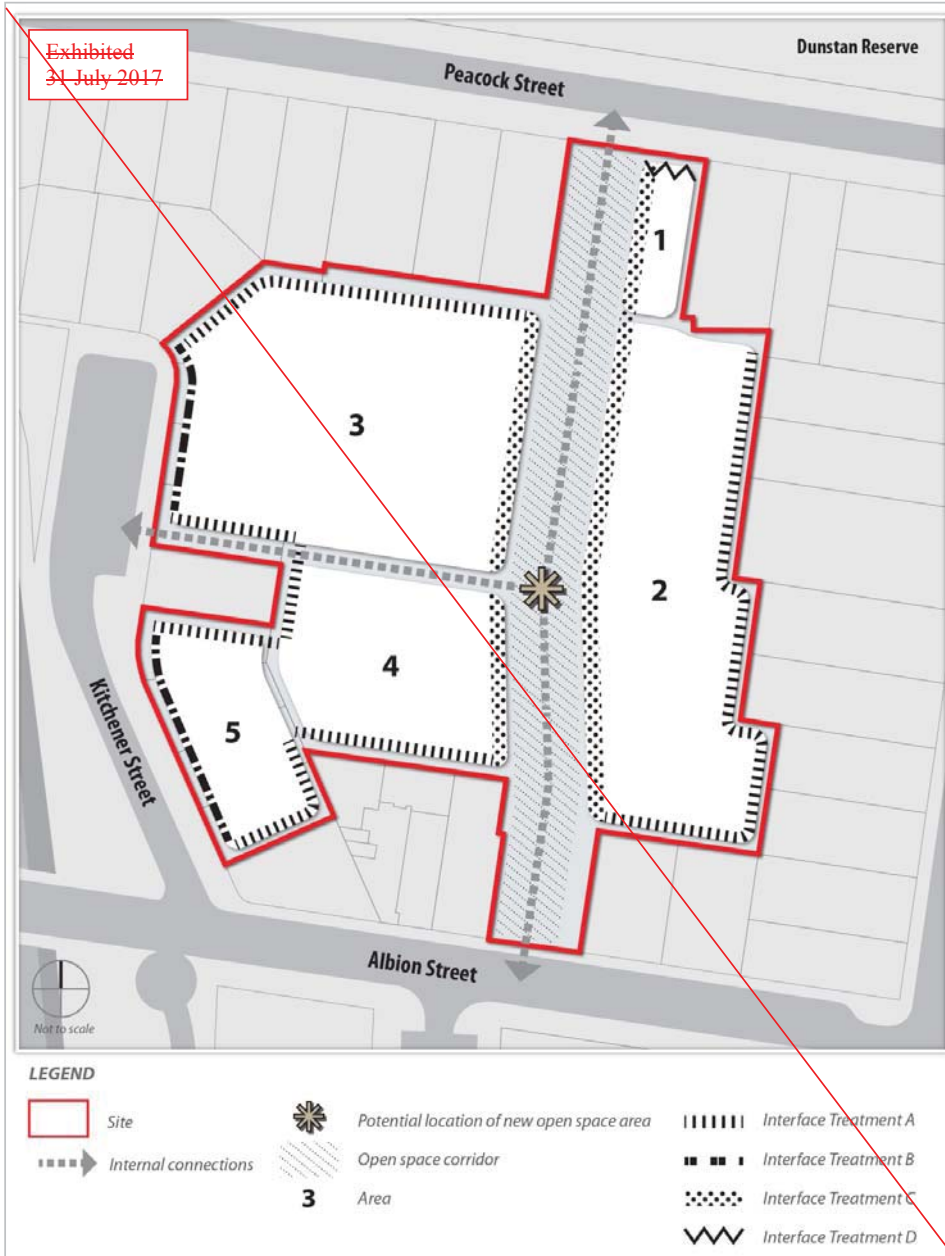
Comment [KS90]: Note: Moreland submits that Moreland City Council should remain the Responsible Authority for the site, hence Moreland City Council not included here along with adjoining owners and occupiers

Comment [LM(91): Responding to track changes. Reject, DHHS sees no value in summarising the documents to be submitted with the Development Plan or provided for in other areas of the Planning Scheme. Furthermore, the inclusion of Decision Guidelines in contrary to the Ministerial Direction on the Form and Content of Planning Schemes.

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5.0 Development Concept Plan

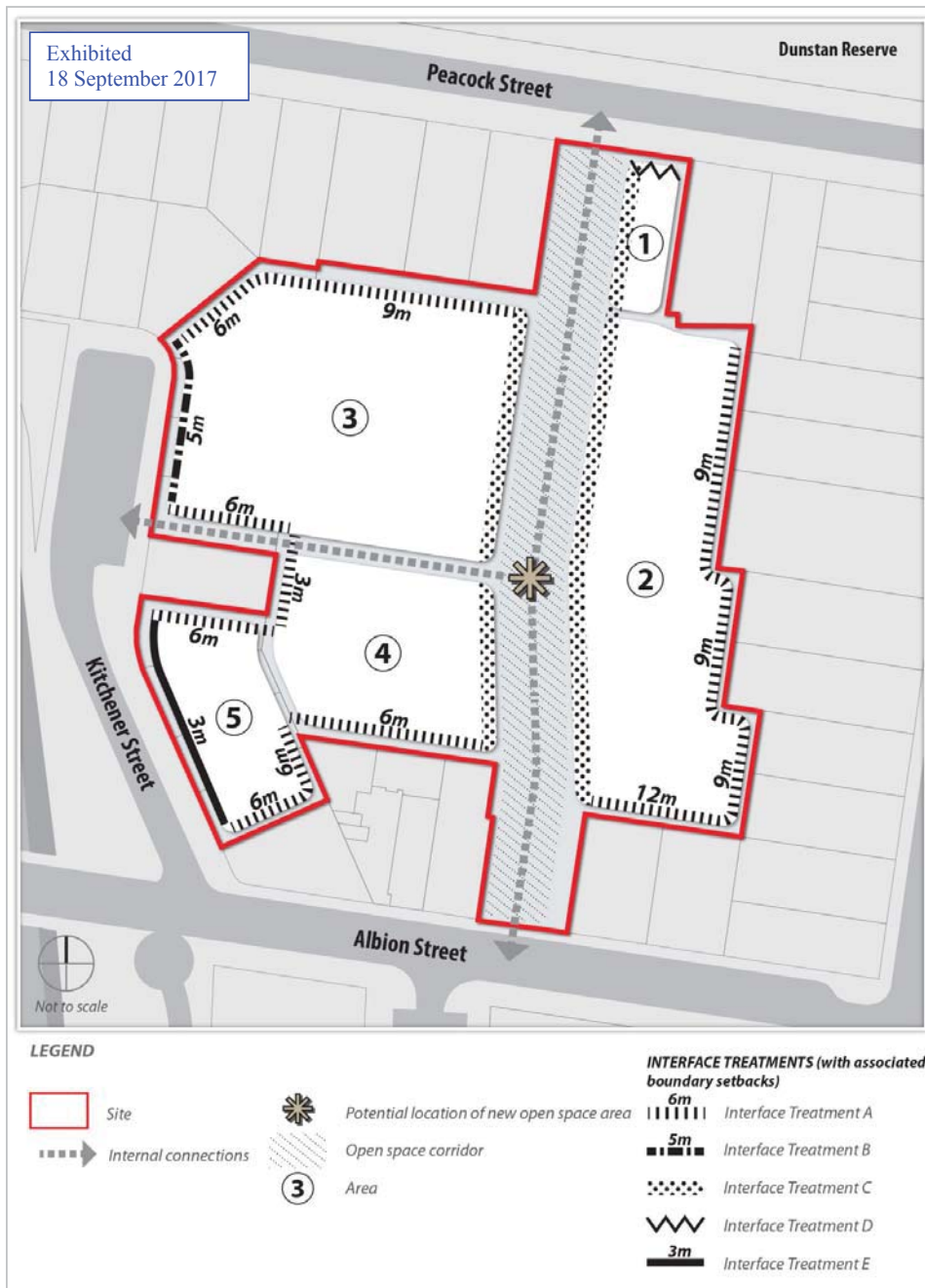
Exhibited
31 July 2017



Comment [KB92]: Because the Development Plan MUST be generally in accordance with the Development Concept Plan, want as much detail as possible in this plan

Comment [LM93]: Responding to track changes and Council Development Concept Plan. DHHS favours the Development Concept Plan included in the DPO schedule circulated by DHHS on 09 October 2017. The Council's version is too detailed and prescriptive and inappropriate for a DPO schedule.

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LEGEND

- Site
- 3-4 Storeys
- 5 Storeys
- 6 Storeys
- Internal connections
- Circulation corridor
- ✱ Potential location of new open space area

Reference Document

[The Design Framework – Public Housing Renewal Program, Gronn Place, Brunswick West July 2017](#)
[Hayball and Message Consultants](#)

Comment [KS94]: As per Section 5 of Councils submission, Elements of the *Design Framework* should be incorporated into the schedule to the DPO, and the framework should be added as a Reference Document to the DPO schedule.

Comment [LM(95): Responding to KS94. Reject. Refer to submissions, noting reference documents are not in accordance with MD on the Form and Content of Planning Schemes.

Page 3: [1] Comment [KS12] Kate Shearer 21/09/2017 1:59:00 PM

A requirement for informal consultation of any Development Plan prepared for the site or for any amendments to an approved Development Plan must be included in the DPO schedule. This is to ensure meaningful community consultation on the development framework proposed. An example of this requirement that has been successfully incorporated into a DPO can be found in the Moreland Planning Scheme at Clause 43.04 schedule 11, Clause 4.0 – *Development Plan Consultation*.

The Responsible Authority may authorise the display of a Development Plan, or an amendment to a Development Plan, once satisfied appropriate content has been provided pursuant to the provisions of this Schedule.

Should the Minister be retained as the Responsible Authority, this section should be revised to indicate how and when Council will be consulted, and further information added to ensure that Council's views are guaranteed to be taken into account when the Development Plan is prepared.

Page 3: [2] Comment [LM(13)] Luke McDonald (DHHS) 13/10/2017 12:32:00 PM

Responding to KS12. Reject, refer to DHHS submission and evidence (ie the Minister will put appropriate consultation procedures in place) Council's proposal is not in accordance with Planning Practice Note 13.

Page 3: [3] Comment [LM(14)] Luke McDonald (DHHS) 13/10/2017 9:41:00 AM

Responding to track change. Part Accept – DHHS propose a similar requirement under the Built Form Section. This is the appropriate place for the requirement and the DHHS wording is recommended for consistency across PHRP DPO schedules.

Page 3: [4] Comment [KS15] Kate Shearer 21/09/2017 1:38:00 PM

As per section 6 of Council's submission, It is Council's submission that the schedule should be amended to make Council the Responsible Authority. If the Minister is to remain the Responsible Authority, the way in which the schedule is currently drafted does not set out

how the Council would be consulted,

when it would be consulted,

what timeframes would be provided for consultation,

or how the Council's views would be guaranteed to be considered and incorporated into the plan.

The way in which Council's views would be considered and incorporated are necessary matters to resolve now, rather than later, to ensure clear expectations for both the proponent, the Council and community.

Page 3: [5] Comment [KB17] Karen Bayly 20/09/2017 9:13:00 AM

As per Section 6 of Council's Submission:

The objective under section 3.0 of the DPO that reads, ‘To maximize the social, economic and environmental ‘return’ of public land assets and ensure the economic viability of the project’ should be removed. The economic viability of a project is not an appropriate objective for a DPO, and should not be a consideration in whether a development plan is approved or not.

Page 3: [6] Comment [KB19] Karen Bayly 20/09/2017 11:31:00 AM

A fundamental feature of comfort and attractiveness of open space is its ability to offer sunlight at the times of the year when the intensity of use is highest. Sunlight contributes to the amenity and useability of public space, public health and well being and supports trees and other plants.

Page 3: [7] Comment [LM(20) Luke McDonald (DHHS) 13/10/2017 9:42:00 AM

Responding to KB19. Reject. Public realm is covered in other objectives as are principles of amenity and livability. Shadow impacts are dealt with seperately, noting that the DPO schedule does not exist in isolation, but is influenced bu other policy in the Planning Scheme. Also we do not support the seperation of this objective as shown.

Page 3: [8] Comment [KS23] Kate Shearer 21/09/2017 1:39:00 PM

As per item 6 of Councils submission, include a requirement that the Development Plan include details showing how public housing will be distributed through the site.

Page 3: [9] Comment [KS25] Kate Shearer 21/09/2017 1:40:00 PM

As per Councils submission section 5, an objective should be added that encourages a mixture of one, two and three bedroom housing to enable true housing diversity, in accordance with Councils local planning policy to require a diversity of housing.

Page 4: [10] Comment [LM(29) Luke McDonald (DHHS) 13/10/2017 4:08:00 PM

Responding to KS27 & 28. Reject these additions – DHHS will set our own adaptability standards responding to need, noting that proposals will need to comply with clauses 55.07 and 58. There is no reason to cross-reference a Clause of the Planning Scheme that will apply to a planning application regardless of its inclusion here or not, and protection of trees is adsequately covered in our 4th bullet point above.

Page 4: [11] Comment [KS30] Kate Shearer 21/09/2017 1:46:00 PM

As per section 6 of Councils submission, the land use objectives at section 2.3 of the Registration of Capability should be incorporated into the schedule to the DPO and apply to the entire site, not only to the public housing components. Of particular relevance are those objectives relating to:

- (a) ecologically sustainable development
- (b) social and private housing mix
- (c) landscapes and linkages that generate a sense of place that makes a positive contribution to the neighbourhood
- (d) appropriate commercial land uses

Page 4: [12] Comment [KS33] Kate Shearer 21/09/2017 2:24:00 PM

As per Councils submission, Commercial uses on the Peacock Street boundary are not supported as the street is totally residential and the customer traffic would have adverse impacts on existing residents and circulation. Albion Street is the preference for the location of commercial uses, however there is limited space. Consideration should be given to adding the direction on appropriate location and type of commercial uses to the DPO schedule.

Page 4: [13] Comment [LM(34)] Luke McDonald (DHHS) 13/10/2017 12:35:00 PM

Responding to KS33. Reject. This would limit the opportunity to locate community facilities if provided along Peacock Street, where such a use could adjoin / work in tandem with the Peacock Street Senior Citizens Centre. Reject change to open space corridor as this is clearly the primary function of the majority of the corridor in areas not occupied by road.

Page 4: [14] Comment [LM(35)] Luke McDonald (DHHS) 13/10/2017 11:17:00 AM

Responding to track changes. Reject. The wording as proposed in the DHHS amended version is adequate and consistent with the clause proposed for all sites within the Program.

Page 4: [15] Comment [KS37] Kate Shearer 21/09/2017 2:05:00 PM

As per section 6 of Councils submission, the Development Concept Plan should be revised to incorporate more detailed movement linkages, land use locations, location of new traffic signals, location of open space and indicative built form envelopes. These are matters of major importance, that must be clearly indicated on the Development Concept Plan, and are considered to be detail that is not appropriate to be confirmed through the approval of a Development Plan, but rather should be confirmed in the DPO schedule.

Page 4: [16] Comment [LM(38)] Luke McDonald (DHHS) 13/10/2017 11:17:00 AM

Responding to KS37. Part Accept comment by clearly defining pedestrian and vehicular linkages in Development Concept Plan, however the remainder of the Council's proposition is far too detailed in the DPO schedule.

Page 4: [17] Comment [KB39] Karen Bayly 20/09/2017 9:25:00 AM

Locating higher built form towards the Tullamarine Freeway is not appropriate given the boundaries of the DPO and the sensitive interfaces with 3 dwellings in Peacock Street. It is noted that paragraph 18 of the Committee's Terms of Reference requires that if the proposal is to include land not owned by the Director of Housing, the inclusion of such land must be agreed to by the Minister for Planning prior to notice.

Page 4: [18] Comment [LM(40)] Luke McDonald (DHHS) 13/10/2017 11:17:00 AM

Responding to KB39. Reject. DHHS considers that there is sufficient guidance in the DPO schedule and the planning scheme to ensure an appropriate and flexible design response in a DP. The principal of height towards the Tullamarine Freeway will still need to comply with Rescode and is an appropriate design response that allows the flexibility to include 12 Kitchener Street if the Minister determines that this is appropriate.

Page 8: [19] Comment [LM(66)] Luke McDonald (DHHS) 13/10/2017 11:19:00 AM

Responding to KB65 and track changes. Reject – appropriate sunlight is prescribed elsewhere in the Planning Scheme, and defining a minimum area of open space at this stage will remove flexibility and innovation from the DP and design process.

Page 8: [20] Comment [KS68] Kate Shearer 21/09/2017 2:09:00 PM

As per section 6 of Councils submission:

There are several trees of some significance rated as ‘medium retention value’. These should also be retained and incorporated as part of any proposed development as the retention of medium valued smaller trees is equally important.

- Along the Kitchener Street frontage, there is opportunity to renew the streetscape planting to compliment the new development. It is integral that the Landscape Plan incorporates new suitable plantings to revegetate the site and that a maintenance plan is incorporated into this to ensure the new plantings survive. Typically, these new plantings die off and they are left with a barren landscape as no one takes ownership of watering and replacement (of dead trees). The DPO schedule should specifically include requirements to ensure this is shown on the Development Plan.
- A requirement relating to the provision of basement car parking that is designed to enable deep soil planting across the site should be included. Whilst the current proposal includes above-ground parking, future proposals may maximise the provision of housing and landscaping by utilising a basement car park. This is supported but not at the expense of removing the ability for deep soil planting.
- The provision of new trees should be increased across the site, especially along major linkages and along all edges of buildings. The current placement of trees as indicated in the Design Framework are random.

Page 8: [21] Comment [LM(69)] Luke McDonald (DHHS) 13/10/2017 11:19:00 AM

Responding to KS68. There is sufficient protection afforded to trees of medium and high value in the DHHS version of the DPO schedule, and a commitment to replacement where retention is not possible.

Page 8: [22] Comment [LM(71)] Luke McDonald (DHHS) 13/10/2017 11:19:00 AM

Responding to track change. Reject. DHHS does not see any justification for this requirement, but may consider artworks, among other communal facilities, as part of our procurement process.

Page 8: [23] Comment [LM(72)] Luke McDonald (DHHS) 13/10/2017 11:19:00 AM

Responding to track change. Reject. This is far too detailed at the DP stage and DHHS will be working with existing and future tenants to determine need and demand for on-site communal facilities.

Page 8: [24] Comment [KS73] Kate Shearer 21/09/2017 2:05:00 PM

- There are no vehicle crossings shown on the Development Concept Plan, and it is not clear if the internal connections are vehicular, cycle or pedestrian connections. This must be identified in the DPO schedule. This is a significant detail, not appropriate to be deferred to the approval of a Development Plan.

Page 8: [25] Comment [LM(75)] Luke McDonald (DHHS) 13/10/2017 11:19:00 AM

Responding to KS73 & 74 Reject – the clear purpose is defined as an open space corridor, of which pedestrian and cycle links are a legitimate use, among other communal facilities. The latest DHHS Development Concept Plan distinguished between pedestrian and vehicular movement in the corridor.

Page 8: [26] Comment [KS76] Kate Shearer 21/09/2017 2:06:00 PM

As per section 6 of Councils submission, Vehicle access to the site must have regard to the types of uses on the site. Council submits that if land uses on the site are purely residential in nature, access to the site from Peacock Street and Kitchener Street is supported. If commercial uses are proposed that attract high volumes of customer traffic, access should be limited to Kitchener Street only.

Page 8: [27] Comment [KS77] Kate Shearer 21/09/2017 2:07:00 PM

As per Councils submission, The DPO should be expressed to prefer an outcome that includes basement car parking that is designed to enable deep soil planting across the site. Whilst the current proposal indicated in the Design Framework includes above-ground parking, it is submitted that the provision of public housing and landscaping could be increased by utilising a basement car park.

Page 8: [28] Comment [LM(79)] Luke McDonald (DHHS) 13/10/2017 11:20:00 AM

Responding to track changes. Reject amendments proposed here – the 18m corridor is largely an open space corridor.

Page 8: [29] Comment [KS80] Kate Shearer 21/09/2017 1:50:00 PM

As per Section 5 of Councils submission, A requirement should be included that requires an increase in the standard provision of bicycle parking as follows:

- 1 secure accessible bicycle space per dwelling,
- 1 visitor space per 4 dwellings,
- 1 additional space for a lot of 3 dwelling apartments/townhouses,
- 1 space per 300m2 for commercial uses and an electric vehicle charging space is provided.

This is in excess of the current standards which are 1 to each 5 dwellings for residents and employees; and 1 to each 10 dwellings for visitors. As the site is located within close proximity to the Albion Melville Neighbourhood Centre and the Moonee Ponds trail which has direct links to the City additional bike parking spaces are considered necessary. This is also required due to the lower car parking rates that will be provided for in the Parking Overlay.

Page 8: [30] Comment [LM(81)] Luke McDonald (DHHS) 13/10/2017 11:20:00 AM

Responding to KS80. Reject. This is overly prescriptive and we rely on our traffic evidence in relation to bicycle parking.